



# WOODRIDGE FOREST

## Residential Design Guidelines

6-Sept-16

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## **Introduction**

Homeowners within Woodridge Forest may desire to modify their home or lot for lifestyle purposes. These enhancement examples may include lot improvements such as landscaping, swimming pools, or the addition of living space square footage, exterior paint colors, etc. Any such changes would be referred to as "Modifications," which require prior approval from the Woodridge Forest Architectural Review Committee (ARC). All modifications are encouraged to feature elements consistent with the Woodridge Forest design scheme established for the ARC and in accordance with the Woodridge Forest Residential Design Guidelines.

The Residential Design Guidelines ("Guidelines") have been established to assure the fair and consistent review of each homeowner's modification submittal. The intent of the Guidelines is to help guide and clarify the requirements for modifications, by helping each Homeowner to understand the modification submittal process.

## **General Homeowner Responsibilities**

The Guidelines provide a minimum set of standards and procedures allowing for exterior and structure design modification diversity while fashioning the growing community of Woodridge Forest. Homeowners should strive to go beyond the minimum standards and provide the most desired home improvements.

The Guidelines establish a review for all formerly submitted modifications and/or improvements within Woodridge Forest. They also set the standards to ensure that all home sites are maintained with quality and consistency after original home purchase. The Guidelines are to be used by the Homeowners and the ARC.

## **Authority**

These Guidelines are a supplement to the Woodridge Forest Declaration of Covenants, Conditions and Restrictions and the Woodridge Forest Community Association, Inc. Architectural Policy. The Guidelines are to be enforced by the ARC. The Guidelines refer to specific items that require prior approval from the ARC but are not limited to items listed within.

All Modification submittals are reviewed by the ARC. Modification submittals must be approved in writing by the ARC prior to installation/construction. Modifications made without prior ARC approval may be subject to a fine or removal at the Homeowner's expense.

## **Amendments**

At any time, these Residential Design Guidelines may be amended. All amendments shall become effective upon recordation. Amendments shall not apply retroactively so as to require modification or removal of work already approved and completed or approved and in progress. The ARC will make all Design Guidelines and subsequent amendments available to all homeowners; it is the responsibility of the homeowner to ensure that they have reviewed the most current version of the Guidelines prior to submitting their modification application. Any modification completed without prior approval is subject to the current and recorded Design Guidelines.



## Submittal and Review Process

Requests for approval of proposed modifications to a Homeowner's property by either new construction, landscaping or exterior modifications must be made by submitting the information and materials outlined herein. No construction of modifications or improvements whatsoever may be commenced without the written approval of the ARC upon compliance with the review and approval in terms process and provisions set forth in this Submittal Process.

Submittal forms are provided in the back of this document under IX. Modification Application Form. **Incomplete submittals will not be reviewed.**

**I. The Review and Approval Process:** Requires each Homeowner or resident for a Modification/Improvement Project ("Project"), as defined below, to obtain the ARC's approval of the submitted design. This Process sets minimum requirements for the information to be submitted. Each Homeowner or resident is responsible for submitting any additional information necessary to adequately explain the proposed design since they are uniquely qualified to determine how best to present it. Commencement of development or attempted permitting of any construction documents whatsoever without the ARC's approval is not permitted and will be at the Homeowner or resident's sole risk of the ARC's subsequent rejection.

### A. Final Review and Approval Process for All Projects

The Homeowner must meet continuing obligations during the Project activity period. The continuing obligations are listed below. In order for the Modifications/Improvements to receive the ARC's final approval, the Homeowner or resident must fulfill all obligations listed in the ARC's Written Approval to Begin Construction/Work and also must be in accordance and satisfy the obligations listed here:

1. No Changes Without Approval: No material changes in the design or construction reflected in the Submittal may be made without prior written ARC approval. The ARC may require all or part of the Review and Approval Process to be repeated for any such requested change.
2. Requirements During Construction/Work: During Project construction/work the Homeowner or resident is responsible for compliance with the Guidelines. The ARC will not grant Final Approval of the Modifications/Improvements while any violation remains uncorrected.
3. Correcting Violations: The ARC will issue directives to the Homeowner or resident to correct the work or activity, or the lack of activity, which violates the Guidelines, Covenants, Conditions or Restrictions or the Written Approval to Begin Construction/Work. The Homeowner is responsible for correcting any such violation(s) regardless of whether it was identified by the ARC. The Homeowner or resident shall promptly comply with any such directives and promptly correct the violation(s). If after a certain time the violation(s) is not corrected, it will be presented to the ARC for further action.
4. Enforcement Activity: If the Homeowner or resident fails to promptly correct violations, the ARC may take measures to obtain compliance including, without limitation, issuance of any necessary cease and desist directive, notification to the Montgomery County or other governmental agency with jurisdiction over the construction or seeking enforcement in a court of law. ARC will, after notice and an opportunity to be heard are given, collect reimbursement of its attorney's fees and other reasonable costs incurred by the ARC relating to violations regardless of whether litigation ensues.

5. Expiration of Approval to Begin Construction/Work: A Written Approval to Begin Construction will be sent to the Homeowner or resident. The Homeowner will have 6 months to complete the project from the date of approval. After 6 months, the modification will need to be re-submitted for review by the ARC.

**B. Information to Submit for Modification Projects**

1. Submit Applications to the Woodridge Forest ARC:

Preferred Management Services  
P.O. Box 690269  
Houston, Texas 77269  
info@preferredmgt.com

2. Only completed modification applications will be accepted.
3. Two (2) sets of construction documents that reflect the appearance and construction of the proposed Modifications/Improvements.
4. Drawings and diagrams demonstrating compliance with the applicable Restrictions including, without limitation, the extent of the proposed Modifications/Improvements, location on the lot (if applicable) drawn to scale on an official copy of the title survey/plot plan, height, exterior equipment and any other restricted feature.
5. Any additional information necessary to show compliance with the Modification Guidelines, Covenants, Conditions and Restrictions.
6. Swimming Pools, Hot Tubs, Spas: A one-thousand dollar (\$1000) Damage Deposit, made payable to Preferred Management, shall be required at the time of submittal. The deposit will be refunded upon notification of completion and once the ARC completes a final review to confirm all areas are returned to original condition and that no additional damage has been done that will need repair/correction.

**C. Approvals**

The ARC will retain one (1) copy of the plans submitted, and return the copy marked "Approved", "Approved with Conditions", or "Disapproved." Any "Disapproved" plans may be revised and resubmitted.



## Modification Guideline Descriptions

Modification requirements apply to all Sections within Woodridge Forest, unless otherwise determined by the Section Specific Annexation:

- Sections Annexed before September 1, 2015: 1, 2, 3, 5, 6
- Sections Annexed after September 1, 2015: All Sections subsequent to the Sections noted above.

### I. Setbacks

#### A. Permanent Building Setbacks:

1. *Building setbacks* are established by the Developer, unless delineated on the recorded plat or City/County Platting Standards.

<b>Front Setbacks*</b>	
Typical Lot	20-25'
Lake Lot & Sections 8-13, 15-16	25'
Traffic Circle Lot	25'

\* Front Setback is set by the Subdivision Plat

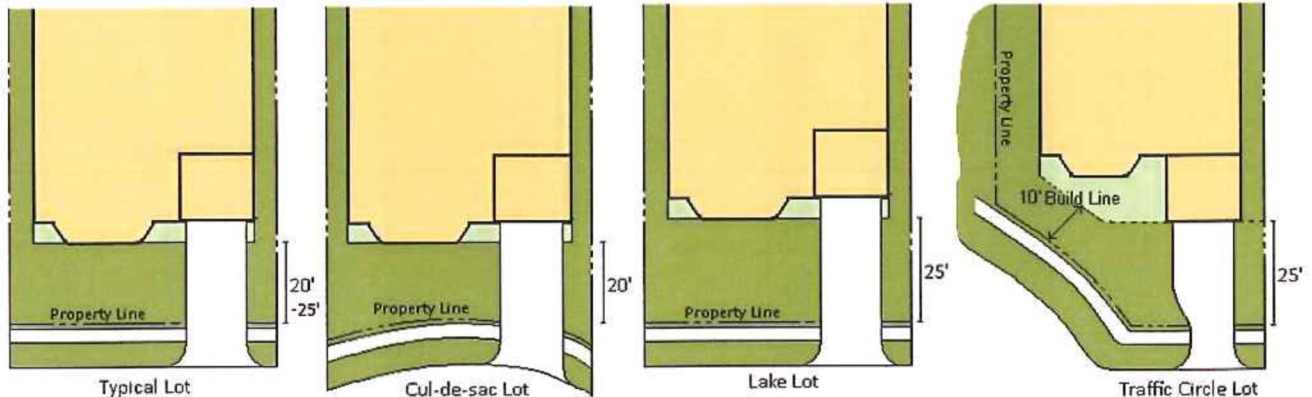
<b>Side Setbacks</b>	
Typical Lot	5'
Corner Lot	10'

<b>Rear Setbacks</b>	
Typical Lot	15'
Lake Lot	20'

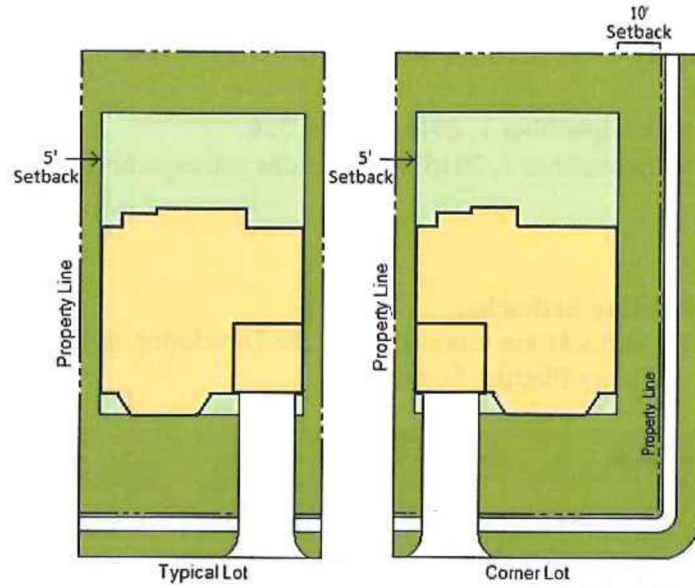
<b>Detached Garage Setbacks*</b>	
Front	60'
Side	3'
Typical Lot Rear	10'
Perimeter Lot Rear	15'

\*Detached Garages are PROHIBITED on Lake Lots

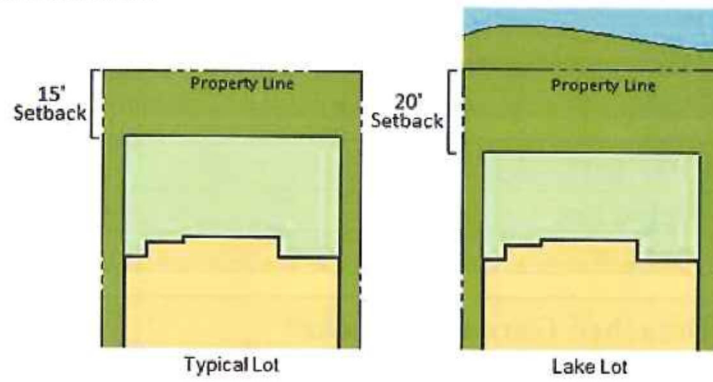
#### 2. Front Setback:



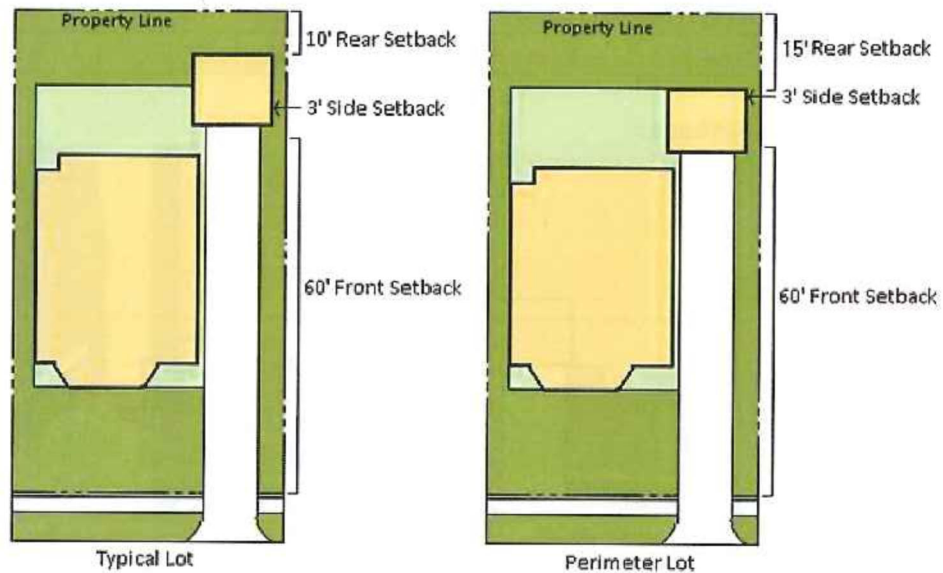
**3. Side Setbacks:**



**4. Rear Setbacks:**



**5. Detached Garage Setbacks:**





**II. Structures:** All Structures must be approved by the ARC before installation.

**A. Unattached Shade Structure:** An unattached or free standing, open framed structure

- i. Must follow Unattached Structure Setback requirements.
  - ii. One (1) approved shade structure per Lot.
  - iii. Must not interfere with drainage or cause water to flow onto any adjacent Lot or common area.
  - iv. Must be maintained at all times.
  - v. May not be used for open storage.
  - vi. All plumbing and/or electrical lines must be concealed from public view.
  - vii. **Screening:** Additional landscape screening may be required if within public view.
1. **Arbor/Pergola:** Or similar shade structure with flat roof
    - i. **Location:** Must be located at the rear of the yard behind the main dwelling.
    - ii. **Material:** Materials must be resistant to decay, such as redwood, cedar and/or treated wood. The stain must be earth tone or neutral color.
    - iii. **Roof:** Roof of arbor/pergola may be lattice or wood slats.
    - iv. **Dimensions:** Maximum height: Twelve feet (12') measured from grade to highest point. Maximum size: One-hundred and twenty square feet (120sf).
  2. **Unattached Covered Patio Structure:** A covered, open framed structure, with a solid roof
    - i. **Location:** Must be located at the rear of the yard behind the main dwelling.
    - ii. **Material:** Must be same materials as the main residence. Must match the exterior colors of the residence.
    - iii. Corner columns must be entirely wrapped in brick or stone.
    - iv. All unattached covered patios must be adequately supported and constructed of wood and masonry so that the patio cover has no visible sagging or warping.
    - v. No exposed pipe or electrical structures allowed.
    - vi. **Roof:**
      - a. Minimum 3:12 roof pitch. Flat roofs are prohibited.
      - b. Must not exceed the pitch of the roof of the main residence.
      - c. Must be the same material as the existing roof and color.
      - d. Corrugated, mansard, gambrel or chalet roofs are prohibited.
    - vii. **Dimensions:**
      - a. The top of the patio cover at its lowest point shall not be higher than ten feet (10') from ground level (typical first floor plate height).
      - b. The maximum height of the walking area shall be no greater than twelve inches (12") measured from the natural ground.
  3. **Gazebos:** A covered, open framed structure, with a solid roof
    - i. **Material:** Supporting structural members must be constructed of materials resistant to decay, such as pressure-treated yellow pine, redwood, cedar or treated wood painted a color and shade similar to and harmonious with the exterior of the residence or approved stain color – cider mill SW.
    - ii. **Roof:**
      - a. Minimum 3:12 roof pitch. Flat roofs are prohibited.
      - b. Must not exceed the pitch of the roof of the main residence.
      - c. Must be the same material and color as the existing roof.
      - d. Corrugated, mansard, gambrel or chalet roofs are prohibited.

**e. Dimensions:**

- i.** Maximum height of a gazebo shall not exceed ten feet (10') measured from the natural ground to the highest point.
- ii.** Maximum height of the walking area (deck) shall be no greater than twelve inches (12") measured from the natural ground.
- iii.** Not to exceed one-hundred and twenty square feet (120sf).

**B. Unattached Enclosed Structure:** Structure with enclosure walls and a solid roof

- i.** Must follow Unattached Structure Setback requirements.
- ii.** Must be located in the rear yard beyond the main dwelling.
- iii.** One (1) approved structure per Lot.
- iv.** Must not interfere with drainage or cause water to flow onto any adjacent lot or common area.
- v.** Must be maintained at all times.
- vi.** May not be used for open storage.
- vii.** Must not be used as a livable space.
- viii.** Additional landscape screening may be required if within public view

**1. Material:**

- i.** Must be same materials as the main residence. Must match the exterior colors of the residence.
- ii.** One-hundred percent (100%) masonry must be used on all sides
- iii.** All enclosed detached structures must be adequately supported and constructed so that the enclosed detached structure has no visible sagging or warping.
- iv.** Pipe, garage roll up doors and window A/C units are prohibited.

**2. Roof:**

- i.** Minimum 3:12 roof pitch. Flat roofs are prohibited.
- ii.** Must not exceed the pitch of the roof of the main residence.
- iii.** Must be the same material and color as the existing roof.
- iv.** Corrugated, mansard, gambrel or chalet roofs are prohibited.

**3. Dimensions:**

- i.** The top of the enclosed detached structure at its lowest point shall not be higher than ten feet (10') from ground level (typical first floor plate height).
- ii.** The maximum height of the walking area shall be no greater than twelve inches (12") measured from the natural ground.
- iii.** The total size of the unattached enclosed structure shall not exceed four-hundred square feet (400sf).

**C. Attached Shade Structure:** An attached, open framed structure with a flat roof

- i.** Must follow Building Setback requirements.
- ii.** Must be located in the rear yard behind the main dwelling.
- iii.** Must not interfere with drainage or cause water to flow onto any adjacent lot or common area.
- iv.** Must be maintained at all times.
- v.** May not be used for open storage.
- vi.** Visible pipes or wires are not allowed.
- vii.** Additional landscape screening may be required if within public view.
- viii.** Must appear to be an integral part of the residence's original construction.

**1. Arbor/Pergola:** Or similar shade structure with flat roof

**i. Material:**



- a. Materials must be resistant to decay, such as redwood, cedar and/or treated wood
- b. Wood embossed architectural aluminum must match the exterior colors of the residence.
- c. Post must sit on masonry columns that match the main residence.
- ii. **Roof of Arbor/Pergola:**
  - a. May be lattice or wood slats in the approved stain color – Cider Mill SW.
- iii. **Dimensions:**
  - a. Maximum height: Ten feet (10') measured from grade
  - b. Maximum size: No wider than the slab of the main residence
  - c. Maximum depth: No more than twenty feet (20') from slab
  - d. Must not encroach any building setbacks.

**D. Attached Covered Patio Structures:** An attached covered structure, open framed with a solid roof.

- 1. **Material:**
  - i. Must be same materials and color as the main residence.
  - ii. Must match the exterior colors of the residence.
  - iii. Concrete may be finished in tile, brick or stone with ARC approval.
  - iv. Must be maintained at all times.
- 2. **Structure:**
  - i. All patio covers must be adequately supported and constructed of sturdy materials so that the patio cover has no visible sagging or warping.
  - ii. Supports must be painted wood, treated wood or masonry. No pipe is allowed.
- 3. **Roof:**
  - i. Minimum 3:12 roof pitch. Flat roofs are prohibited.
  - ii. Must not exceed the pitch of the roof of the main residence.
  - iii. Must be the same material as the existing roof.
  - iv. Corrugated, mansard, gambrel or chalet roofs are prohibited.
- 4. **Dimensions:**
  - i. The maximum height of the walking area shall be no greater than twelve inches (12") measured from the natural ground.

**E. Patio Enclosures:** Any patio cover that has exterior walls (other than “sunrooms”) with a solid roof.

- 1. **Material:**
  - i. Must match the architectural style and character of the main residence
  - ii. Must be same materials as the main residence.
  - iii. Must match the exterior colors of the residence.
  - iv. Must be maintained at all times.
- 2. **Roof:**
  - i. Minimum 3:12 roof pitch. Flat roofs are prohibited.
  - ii. Must be the same material and color as the existing roof.
  - iii. Corrugated mansard, gambrel or chalet roofs are prohibited.
- 3. **Dimensions:**
  - i. The highest point of the patio cover shall never exceed ten feet (10') from ground level (typical first floor plate height).

**F. Sunrooms:** A patio enclosure to be constructed with glass walls and/or glass roofing.

**1. Material:**

- i. Must be same materials as the main residence.
- ii. Must match the exterior colors of the residence.
- iii. Glass must be tinted in a shade compatible with the exterior of the residence. Metallic or direct reflecting style shading/tinting of the glass is prohibited.
- iv. Applicants may be required to submit actual samples of the glass with the proposed shading/tinting material applied for approval.
- v. Must be maintained at all times.

**2. Roof:**

- i. Minimum 3:12 roof pitch. Flat roofs are prohibited.
- ii. Must not exceed the pitch of the roof of the main residence.
- iii. Must be the same material and color as the existing roof.
- iv. Corrugated, mansard, gambrel or chalet roofs are prohibited.

**3. Prohibited Accessories:**

- i. Exposed air conditioning or heating duct work. No ductwork shall be visible during any period of time.
- ii. Pipes or exposed wires are not allowed.

**4. Window coverings:**

- i. Are not required; however, only interior covering with a light color solid backing will be permitted; there shall be no exterior coverings of the sun room glass permitted

**G. Temporary Buildings:**

No structure of temporary character, trailer or mobile home (with or without wheels and whether or not attached to a foundation), modular or prefabricated home, tent, shack or barn shall be placed on any Lot, and no residence shall be moved upon any Lot from another location. Notwithstanding the foregoing, Declarant reserves the exclusive right to or may grant approval for Builders to erect, place and maintain such temporary facilities in and upon Properties as in its sole discretion may be necessary or convenient during the period of and in connection with the sale of Lots or the construction and sale of residences in the Properties. Any garage used for sale purposes by a Builder must be reconverted to a garage prior to the occupancy of such residence by the homebuyer.

**III. Additional Structures**

**A. Chimneys:**

1. Fireplace material must be consistent with the main residence.
2. Cannot have an exposed metal flue and must be boxed in with material matching the home (brick or hardiplank).
3. Chimney caps are required on all chimneys.
  - i. Caps shall be of metal construction.
  - ii. Caps shall be unadorned and designed to match or be compatible with the color and material used on the chimney.

**B. Outdoor Kitchen:** Outdoor kitchen fixtures must be permanent/fixed and must be harmonious with the main residence. Please refer to Section II. Structures, Subsection A. Unattached Shade Structures for further details.

1. The height shall not exceed standard bar height requirements.



**C. Storage Buildings:** Tool/storage shed, garden shed, or other exterior buildings not considered patio or shade structures, are to have an exterior that architecturally compliments the exterior of the main dwelling. ARC approval is required before installation.

- i. One (1) approved structure per Lot
- ii. Must not interfere with drainage or cause water to flow onto any adjacent lot or common area.
- iii. Must be maintained at all times. A Homeowner or resident may be required to remove an outbuilding if it is not properly maintained or unsightly, as determined by the ARC.

**1. Location:**

- i. Storage buildings must be located behind the home, out of street view and must be enclosed by a wood or metal fence that is at least six feet (6') in height.
- ii. When on a corner lot, the building must be located in the rear yard on the interior side of the lot.
- iii. Must follow Building Setback requirements.

**2. Material:**

- i. Metal, plastic, vinyl, and wood are allowed with colors that are complimentary to the home.
- ii. Colors must match or compliment the main residence. Proposed complimentary colors at ARC discretion.

**3. Roof:**

- i. Must not exceed the pitch of the roof of the main residence.

**4. Dimension:**

- i. Not to exceed eight feet (8') in height when measured from the natural ground to roof peak (this includes any blocks or decking)
- ii. Must not exceed one-hundred square feet (100sf) of floor space.

**5. Screening:**

- i. Outbuildings on lots with open wrought iron fencing may be subject to acceptable screening measures to block from public view.

**D. Patio Decks:**

**1. Location:**

- i. Ground level decks may not exceed twelve inches (12") in height above natural grade and may not encroach on any easement nor extend beyond the building line.

**2. Materials:**

- i. All above ground structures shall be made of either weather resistant wood or of masonry. Metal or vinyl are not permissible for upper level decks.
- ii. If wood is used on the improvement, it must be weather-resistant such as cedar or pressure-treated pine (ex. Wolmanized®). It may be painted to match the house colors, stained cedar mill SW, treated with a substantially clear wood preservative or left raw to weather naturally.
- iii. If masonry is used, either bricks or stucco that matches the house or concrete may be used.
- iv. In all cases, the design and materials must complement the house and community.
- v. On upper level decks, both the stairway and deck require railings for safety.

**3. Maintenance:**

- i. All decks shall be maintained in such a fashion as to not detract from the community.

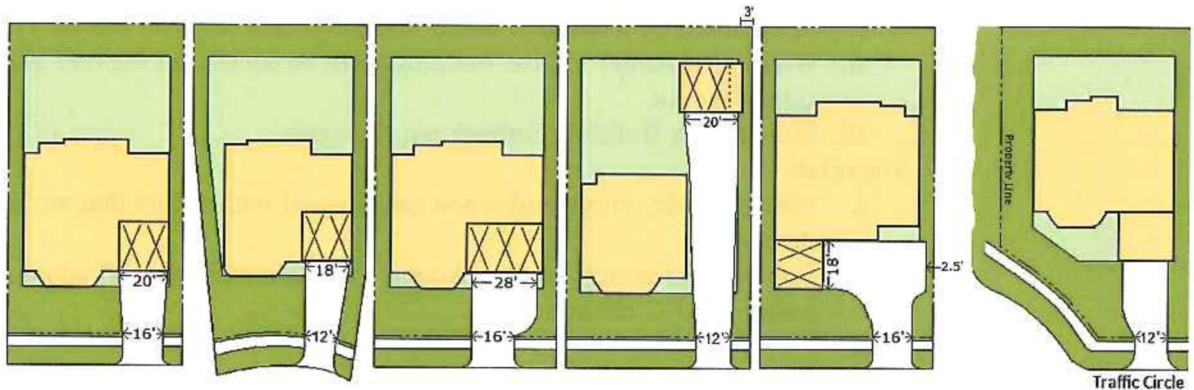
- E. Prohibited:** Carports, Open (not enclosed) Automobile Storage, Netting Enclosures (except safety netting around a trampoline).

#### **IV. Driveways, Sidewalks and Walkways**

##### **A. Driveways:**

###### **1. Widths:**

- i. Maximum sixteen-feet (16') at property line
- ii. Minimum twelve-feet (12') at property line
- iii. Traffic Circle Lots: Maximum twelve-feet (12') at property line



###### **2. Materials Permitted:**

- i. Concrete is required for all Driveways.
- ii. Refer to Montgomery County Dept of Engineering, Infrastructure Design Manual.
- iii. Decorative materials are permitted at the discretion of the ARC but must not exceed eighteen inches (18"). Materials include brick, stamped or colored concrete pavers, flagstone, etc. Proper subgrade is required and must be maintained at a uniform level at all times. ARC approval is required before modification and installation.
- iv. On each Lot, the Homeowner shall maintain at his expense the driveway from the street to the garage. The replacement of concrete driveways is to be a minimum four inches (4") thick over a sand base with a minimum of a six inch (6") by six inch (6") wire mesh in the field of the pour. County specifications regarding driveway cuts and curb returns at driveway openings shall be adhered to.

###### **3. Materials Prohibited:**

- i. Asphalt paving, loose gravel, stone, timber borders.

###### **4. Prohibited Driveways:**

- i. Dual driveways such as driveway through a Porte-Cochere and another driveway alongside the Porte-Cochere to access the rear-loaded garage are not permitted.
- ii. Two (2) driveways that merge before the front building setback line are permitted with ARC approval.

###### **5. Driveway Radius:**

- i. All Driveways must maintain a five foot (5') radii on each side of driveway apron.



**6. Driveway Setbacks:**

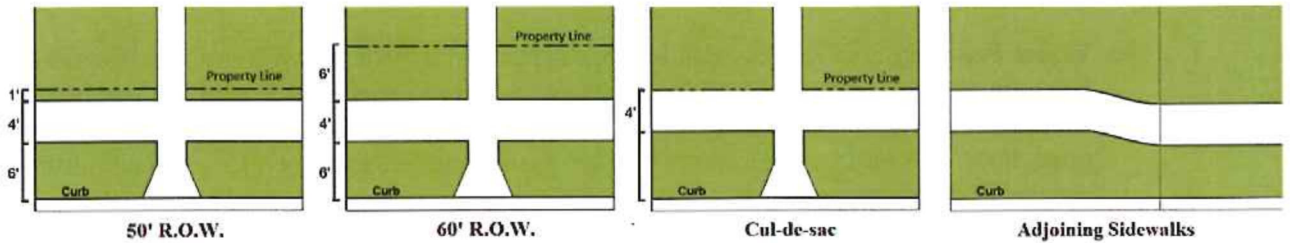
- i. Driveways shall be located no closer than two and a half feet (2.5') from side property line and no closer than five feet (5') from front property line to allow for a five foot (5') driveway radii.



**B. Sidewalks:**

- 1. **General:** Homeowner is responsible for maintaining all sidewalks within the Right of Way in front of all Lots, including corner side for corner Lots. Maintenance to include repair and replacement of cracked or damaged sidewalk panels. All Lots must have a four foot (4') wide concrete sidewalk.

- i. Sidewalks are to be located *six feet (6')* from the back of the curb for all Lots fronting a typical R.O.W.

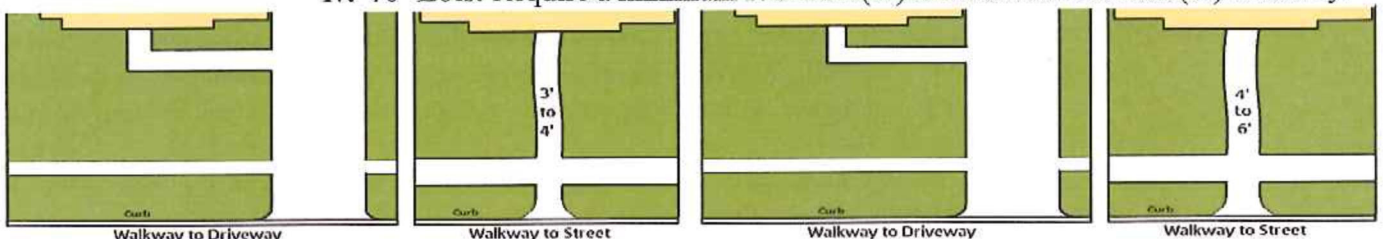


- ii. Sidewalks located on a cul-de-sac must be located at the back of the R.O.W. along the front Property Line.
- iii. Sidewalks must not encroach within the Property Line.
- iv. Sidewalks that adjoin a Developer installed sidewalk must align smoothly with the community sidewalk. Abrupt curves or sharp angles are not allowed.
- v. If mail clusters, meters, pedestals, etc. are within the path of a potential sidewalk and cannot be re-located, sidewalks must meander behind them. Abrupt curves or sharp angles are not allowed.

**C. Walkways:**

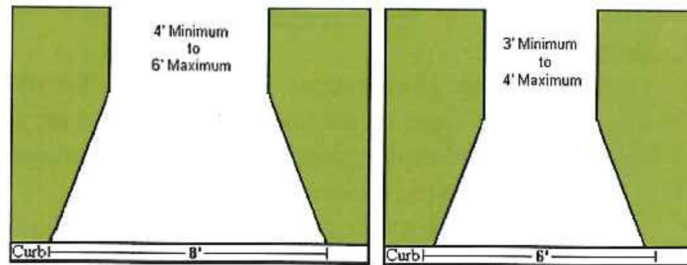
- 1. **General:** Homeowner is responsible for maintaining all walkways. Maintenance to include repair and replacement of cracked or damaged panels. Concrete required for all Walkways.

- i. Walkways may lead from the front elevation to the sidewalk or driveway.
- ii. Walkways to the sidewalk must be curvilinear.
- iii. **50', 55', & 60' Lots:** Require a minimum three foot (3') to maximum four foot (4') walkway.
- iv. **70' Lots:** Require a minimum four foot (4') to maximum six foot (6') walkway.



## 2. Walkway Flares:

- i. **General:** Homeowner is responsible for maintaining all walkways. Maintenance to include repair and replacement of cracked or damaged panels. All walkways that are constructed from the front elevation to the street must have a concrete Walkway Flare.
  1. **50', 55', & 60' Lots:** A six foot (6') wide walkway flare between the sidewalk and the curb.
  2. **70' Lots:** An eight foot (8') wide walkway flare between the sidewalk and the curb.



## V. Fencing

- A. **Wood Fencing:** All fences must be constructed in accordance with the specifications below. In no event shall any fence or wall be constructed chain link or wire. Fencing is not permitted in the front yard between the front elevation and R.O.W. of any Lot. All fencing facing the R.O.W. must have a minimum ten foot (10') to maximum fifteen foot (15') setback from the front corners of the front elevation.

### 1. Maintenance:

- i. Ownership of any wall or fence erected on a Lot (except wall or fence within an easement granted to the Association) shall pass with title to such Lot Owner and it shall be the Lot Owner's responsibility to maintain such wall or fence. In the event the Homeowner or resident of any Lot fails to maintain a wall or fence and such failure continues after thirty (30) days written notice thereof from the Association, the Association may, at its option but without obligation to do so, without liability to the Homeowner or resident in trespass or otherwise, enter upon said Lot and cause the fence or wall to be repaired or maintained or to do any other thing necessary to secure compliance with this Declaration and to place said wall or fence in satisfactory condition. In such event, the HOA may charge the owner or occupant of such Lot for the cost of such work. The Owner or occupant, as the case may be, agrees by the purchase or occupancy of such Lot, to pay such charges plus fifty percent (50%) of such costs for overhead and supervision upon receipt of the corresponding statement.
- ii. Fences must be maintained at all times and must be stained Cider Mill SW3512, Superdeck, Oil Base, Semi-Transparent to include repair, replacement and painting as needed. The maintenance and repair of a fence located on a common property line between Lots shall be the joint responsibility of the Homeowners of the adjacent Lots and each Homeowner has the right to maintain such fence and to recover one half (50%) of its out of pocket repair or maintenance costs from the other Homeowner. Homeowner will be responsible for all steel fencing on and facing the Lot.
- iii. All fencing must meet criteria below and must be approved by ARC prior to installation.



**2. Fences Erected by Declarant:**

- i. Declarant shall have the right, but not the obligation, to construct fences or walls within or around Properties which are deemed by the Declarant to enhance the appearance of the Properties. A Homeowner shall be responsible for any damage to a fence or wall constructed by or at the direction of the Declarant which is caused by such Homeowner or his family members, or the negligent, but not the intentional acts of his or her guests, agents, or invitees.

**3. Prohibited Fencing:**

- i. Wood Shadow-Box fencing
- ii. Wood "Pallet" fencing
- iii. Front Yard fencing
- iv. Solid walls enclosing the entire Lot
- v. All Wood fencing must be constructed with #2 or better, six-foot (6') by six inch (6") Authentic *cedar* pickets with four inch (4") by four inch (4") pressure treated vertical wood posts and a three (3) rail system.
- vi. All fencing within public view that is thirty feet (30') or more in length requires a landscape buffer along fence line. Fencing more than sixty feet (60') requires two (2) landscape buffers along fence line. Refer to Section O. Minimum Landscape Requirements.

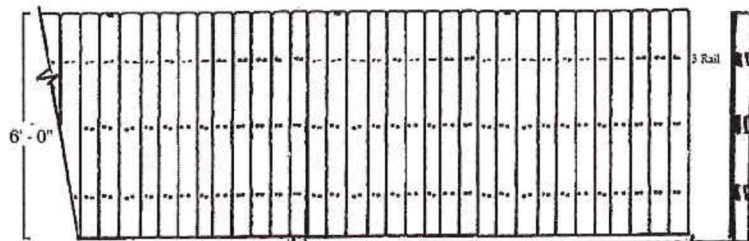
**4. Good Neighbor Fence:** *This provision is applicable to all Sections annexed into Woodridge Forest (before or after, as applicable) September 1, 2015.*

- i. All interior Lot fencing that is not within public view must be Good Neighbor Wood Fence with *alternating* good side out panels.



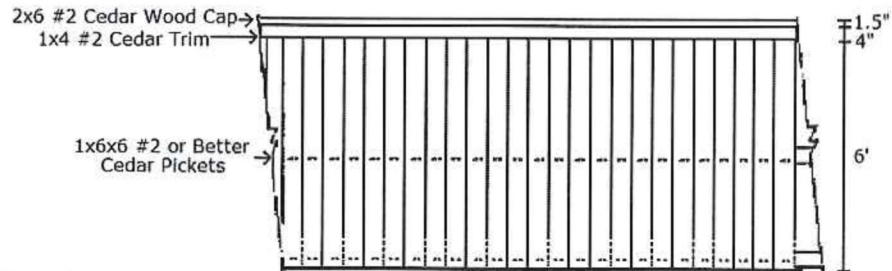
**5. Good Side Fence:** *This provision is applicable to all Sections annexed into Woodridge Forest (before or after, as applicable) September 1, 2015.*

- i. All interior Lot fencing that is within public view must be Good Side Fence with *all* pickets on one (1) side of the three (3) rail system.
- ii. First Builder will install interior Lot fencing will determine which side *all* good side pickets will face.
- iii. Builders and homeowners may complete the back side of the fence with *all* good side pickets.
- iv. No ARC approval required.



**6. Upgraded Wood Fence:**

- i. **General:** All Upgraded Wood fencing is either "Good Side Out" Wood with cap rail and trim or "Good Side In" Wood with cap rail and trim depending on fence location.
- ii. The last builder to complete an improvement must finish exposed fencing to make all Good Side Out/In with cap rail and trim.



**7. Front Fencing:**

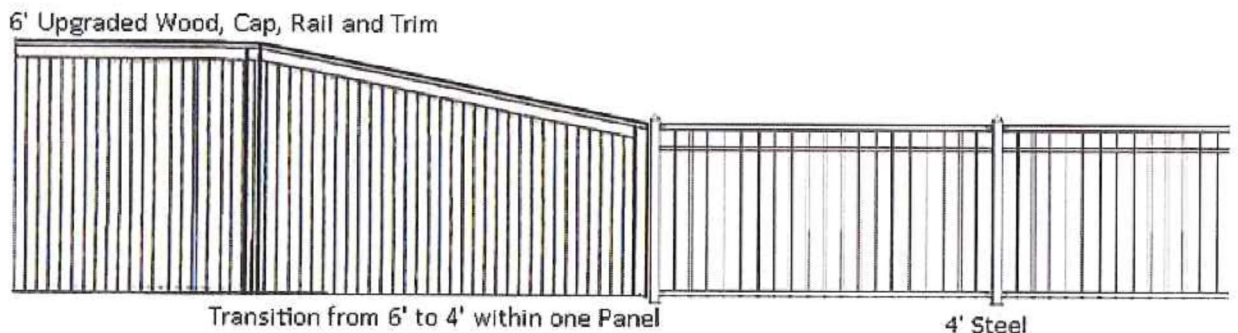
- i. All fencing facing the R.O.W. or facing adjoining properties is considered Front Fencing.
- ii. All Front Fencing is to be Upgraded Good Side Out Wood unless otherwise stated on the Fence Plan or Site Plan.
- iii. Builder should attempt to align Front Fencing with adjacent house Front Fencing if possible.

**8. Corner Lot Fencing:**

- i. All Corner Lot Fencing facing the ROW is considered Front Fencing.
- ii. All Corner Lot Fencing is to be Upgraded Good Side Out Wood.
- iii. Must be set back five feet (5') from the back of the sidewalk to allow for corner Lot landscaping.

**9. Lake Fencing:**

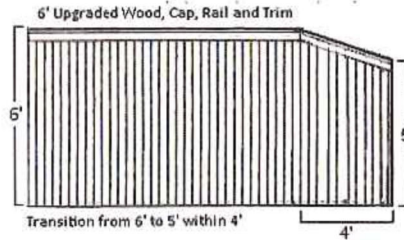
- i. **Lake Lots:**
  - a. All Lots visible by Lake must have a six foot (6') Upgraded Good Side In Wood fence transition to four foot (4') steel fence along the side property lines and four foot (4') steel fence on the rear property line.
  - b. Transition wood fence must meet four foot (4') steel within one (1) panel transitioning from six foot (6') wood to four foot (4') wood.
  - c. Four foot (4') steel fence must begin no less than sixteen feet (16') from the rear property fence.
  - d. Rear four foot (4') steel fence must extend across the entire rear property line.





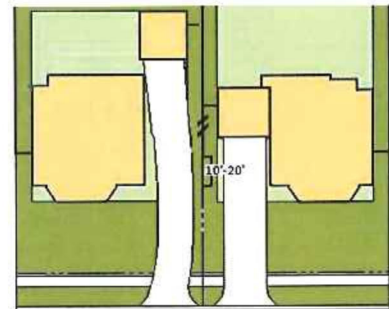
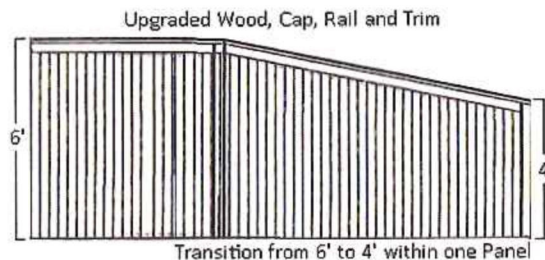
**10. Reserve Fencing:**

- i. All Lots along a Reserve that have a five foot (5') rear property line steel fence must have a six foot (6') Upgraded Good Side In Wood fence along side property lines to meet with rear property line steel fence.
- ii. Wood fence must transition from six foot (6') to five foot (5') within a four foot (4') section.



**11. Side By Side Wood Driveway Fence:**

- i. For side by side detached garage driveways, a six foot (6') Upgraded Good Side Both Sides Wood fence must be installed along the side property line.
- ii. Fence must start a minimum of ten feet (10') to a maximum twenty feet (20') from the front corner of the residence.
- iii. Fence must transition from four feet (4') to meet the six feet (6') fence. Transition must occur within one (1) panel.



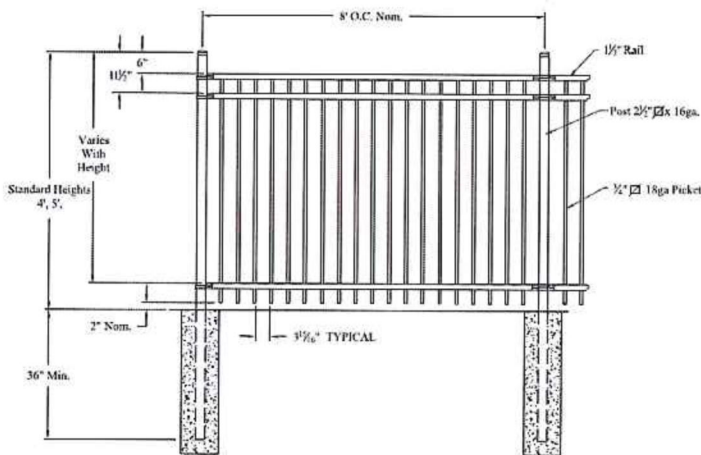
**12. Wood Breezeways**

- i. A four foot (4') breezeway or six foot (6') breezeway fence is required. Fence must be Good Side Out Wood with a wood gate.
- ii. **Stain:** All Upgraded Wood will be stained with **Cider Mill SW SW3512, Superdeck, Oil Base, Semi Transparent** stain (manufacturer recommended two (2) coats) or comparable stain approved by ARC. All stain must be applied according to manufacturer instructions. Fence stain applied incorrectly or inconsistent with the required stain color sample, as well as the use of an incorrect stain, will be required to be re-stained with the correct stain and applied per manufacturer instructions until the required stain color is achieved and approved by the ARC.
- iii. Continued inconsistency in fence stain applications may require one (1) HOA approved company to stain all fences within Woodridge Forest at the Homeowner expense.



## B. Steel Fencing:

1. Fencing is not permitted in the front yard between the front elevation and R.O.W. All fencing facing the R.O.W. must have a minimum ten foot (10') to maximum fifteen foot (15') setback from the front corners of the front elevation.
2. All Steel Fencing is to be Ameristar Majestic Montage Plus or ARC approved equivalent. Welded and Rackable (ATF- all terrain flexibility) steel, Classic three (3) rail design. Pre-galvanized steel, Zinc (hot-dip galvanized) phosphate, epoxy primer, black acrylic topcoat.



## 3. Lake Lot:

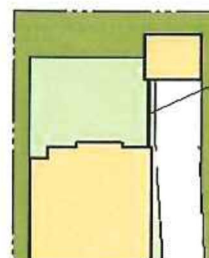
- i. All Lake Lots must have side property line four foot (4') steel fence to meet rear property line four foot (4') steel fence.
- ii. Side property line four foot (4') steel fence must begin no less than sixteen feet (16') from rear property line fence.
- iii. Sloped yard four foot (4') steel must transition down by eight foot (8') panels.
- iv. Rear four foot (4') steel fence must extend across entire rear property line.
- v. Gated Rear fences are allowed.

## 4. Reserve Lot:

- i. All Lots backing a Reserve that have a five foot (5') rear steel fence must have six foot (6') Upgraded Good Side In Wood fence along the side property lines to meet with the five foot (5') steel.
- ii. Follow wood to steel fence transition requirements.
- iii. Rear five foot (5') steel fence must extend across entire rear property line.

## 5. Steel Breezeways:

- i. A four foot (4') or six foot (6') breezeway fence is required between the Garage and House.
- ii. Fences must be either Good Side Out Wood with wood gate or Steel with steel gate.





**6. Gates:**

**i. Wood Gate for Wood Fencing:**

- a. A six foot (6') tall by three foot (3') wide wood pedestrian gate may be placed on the front fence facing the street.
- b. All gates must be Upgraded Wood.
- c. All gates must be self-closing and self-latching.
- d. No gates are permitted along the rear or corner side property line fencing.

**ii. Steel Gate for Steel Fencing:**

- a. A four foot (4') tall by three foot (3') wide steel pedestrian gate may be placed along the rear fence of Lake or Reserve Lots.
- b. Steel gates must match steel fence.
- c. Decorative gates, arbors, etc. are PROHIBITED.
- d. All gates must be self-closing and self-latching.

**7. Driveway Gates:**

- i. Driveway Gates must have ARC approval. Wood Gates are PROHIBITED.

**VI. Square Footage: Minimum and Maximum:**

*\*This provision is applicable to all Sections annexed into Woodridge Forest (before or after, as applicable) September 1, 2015.*

Lot Size	Minimum	Maximum
50'	1,800 SF	3,000 SF
55' Patio	1,800 SF	3,600 SF
60'	2,100 SF	3,600 SF
70'	2,650 SF	4,200 SF
80' and Up	TBD	TBD

*\*This provision is applicable to all Sections annexed into Woodridge Forest (before or after, as applicable) September 1, 2015.*

Lot Size	Minimum	Maximum
50'	1,800 SF	3,100 SF
55'	1,950 SF	3,500 SF
60'	2,400 SF	3,850 SF
70'	2,650 SF	No Maximum

**VII. Plan Width Minimum**

- A. Overall product width may be no less than fifteen feet (15') of the Lot Size.

Lot Size	Minimum Width
50'	35'
55'	40'
60'	45'
70'	55'

- B. Overall width for products with Detached Garages may be no less than twenty feet (20') of the Lot size for all Lots.